

LINCOLN CITY/LANCASTER COUNTY PLANNING STAFF REPORT

for August 6, 2003 PLANNING COMMISSION MEETING

- P.A.S.:** Special Permit #2012
- PROPOSAL:** A request from Alltel for a 105' tower for wireless facilities capable of accommodating three wireless carriers.
- LOCATION:** Approximately South 77th Street and Highway 2.
- CONCLUSION:** This request complies with the requirements of the Zoning Ordinance and the intent of the Comprehensive Plan.

RECOMMENDATION:	Conditional Approval
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GENERAL INFORMATION:

LEGAL DESCRIPTION: Lots 59, 65, and 74 I.T. in the southwest quarter of Section 15, T9N, R7E of the 6th P.M., Lancaster County, Nebraska.

EXISTING ZONING: AGR Agricultural Residential

EXISTING LAND USE: Church

SURROUNDING LAND USE AND ZONING:

North:	Residential	R-1
South:	Commercial	B-2, O-3
East:	Undeveloped	AGR
West:	Residential	AGR

COMPREHENSIVE PLAN SPECIFICATIONS:

Page F25 - The 2025 Comprehensive Plan's Land Use Plan designates urban residential land uses in this area.

Page F40 General Principles for all Commercial and Industrial Uses - Compatible with existing or planned residential uses.

Page F126 - Wireless Telecommunications - The placement and construction of such facilities need to occur in a way that is compatible with the natural and built environment. Taller, more intensive facilities should be located in commercial and industrial areas. Facilities in residential areas should be unobtrusive, of a scale consistent with the neighborhood setting, and sited in a way that does not detract from the enjoyment of the neighborhood by its residents.

Page F156 - Subarea Planning - Southeast Lincoln/Highway 2 Subarea Plan.

Southeast Lincoln/Highway 2 Subarea Plan:

Page 9 - Promote a Desirable Entryway - Designates an open space corridor along Highway 2 in this area.

TOPOGRAPHY: The terrain is hilly in this part of Lincoln. South 70th and South 84th Streets are both at approximately the tops of hills where they intersect with Highway 2 in this area. The low point in this area approximately follows the Pine Lake overflow, which drains southwest across Highway 2 south of the Home Depot site.

TRAFFIC ANALYSIS: Access to the Berean Church site is provided by driveways off both South 70th Street and Highway 2.

AESTHETIC CONSIDERATIONS: This site is located adjacent to Highway 2, an entryway corridor into the City. Other commercial developments in this area along including Willowbrook (Home Depot) and Appian Way (Wal-Mart, Menards) have been required to preserve open green space along the highway. The open space corridor varies in width adjacent to the commercial developments from approximately 75' (all south of the right-of-way line of Highway 2) between South 70th and South 84th Streets, to approximately 400' in width (200' either side centerline of Highway 2) between South 84th and South 91st Streets.

At Willowbrook, the setback approved to preserve the open space corridor included a 75' setback to pavement, and a 100' setback to buildings. However, as developed the Home Depot building is actually 150' from the right-of-way line of Highway 2.

Additionally, Highway 2 in this area is a Capitol View Corridor. However, staff's review of this application finds that there is no significant impact upon the corridor, and that review by the Capitol Environs Commission is not required.

ANALYSIS:

STANDARDS FOR EVALUATION:

Conformity with Comprehensive Plan.

1. It is a goal of the Comprehensive Plan that commercial and industrial development be done in a manner that is compatible with existing or planned residential development. This can be achieved by minimizing the height of a tower, using compact antenna arrays, and maintaining an adequate separation to residential uses. This tower attempts to achieve this by using a compact antenna array, using the shortest tower possible, and siting the tower internal to the site to maintain an adequate separation from surrounding residential properties.

Additionally, preservation of an open space corridor is also called for in the Plan. This tower is setback more than 150' from the Highway 2 right-of-way to help preserve that corridor.

Preference of site location in accordance with Chapter 27.68.080.

2. There are three location preferences as follows:

A. Preferred Location Sites:

(1) Publicly owned sites on which personal wireless facilities can be unobtrusively located with due regard to visibility, aesthetic issues, traffic flow, public safety, health and welfare. Such sites may include locating on existing buildings, co-locating on existing towers, screened roof-top mounts, water towers, billboards, electric substations, or other camouflaged sites, but shall not include new towers.

(2) Privately owned sites with existing structures on which personal wireless facilities can be unobtrusively located with due regard to visibility, aesthetic issues, traffic flow, public safety, health and welfare. Such sites may include locating on existing buildings, co-locating on existing towers, screened rooftop mounts, water towers, billboards, electric substations, or other camouflaged sites, but shall not include new towers.

(3) Publicly owned sites in which the facility is minimally obtrusive, has a minimal impact on the surrounding area, is an appropriate distance from residential land uses, has minimal impact on residential uses, with due regard being given to the scale of the facility and the surrounding area and the impact on the location.

(4) Sites in commercially or industrially zoned districts in which the facility is minimally obtrusive, has a minimal impact on the surrounding area, is an appropriate distance from residential land uses, has minimal impact on residential uses, with due regard being given to the scale of the facility and the surrounding area and the impact on the location.

B. Limited Preference Sites, in order of priority:

(1) Sites on other public property.

(2) Sites on other commercially or industrially zoned property.

(3) Screened antennas on multi-family residential structures exceeding 30' in height.

(4) Camouflaged structures with minimal impact on residential land uses.

C. Sensitive Location Sites. Sites located in areas with residential uses, environmentally sensitive areas, Capitol View Corridors, the Capitol Environs District, entryway corridors,

downtown, landmarks or landmark districts, properties listed or eligible to be listed on the National Register of Historic Places, the Airport Environs, and other sensitive areas. The applications for personal wireless facilities which are located at sensitive sites will be required to demonstrate a technical need to locate a personal wireless facility at a sensitive site and that other reasonable alternatives do not exist for the facility at a location which is not a sensitive site.

This application is considered a sensitive location site as it does not meet the criteria of A or B above. In sensitive location sites, the applicant is required to demonstrate what good faith efforts were taken to locate at a preferred or limited preference site, and why a preferred or limited preference site was not used if available.

There are two potential preferred location sites in this area. One is collocation on the Berean Church. The second is Willowbrook Shopping Center. The applicant was asked to analyze both options. Coverage maps were submitted showing decreased coverage that does not meet system requirements if antennas were to be located on the church. The antennas would need to be approximately 20' higher if located on the church.

The applicant also analyzed locating in the Willowbrook Shopping Center, and found that the tower would need to be approximately 200' in height to provide equivalent coverage due to the change in grade and terrain.

Compatibility with abutting property and land uses.

3. The tower is sited closest to the O-3 and B-2 districts south across Highway 2, and maintains an adequate separation from the existing residential to the north, and the future residential to the east.

Adverse impacts such as visual, environmental or noise impacts.

4. The tower is set back on the site to help minimize the visual impact of the tower upon surrounding properties, and a compact antenna array is proposed. It is also set back in excess of 150' from the centerline of Highway 2 to preserve the open space corridor similar to the Willowbrook Shopping Center.

Availability of suitable existing structures for antenna mounting.

5. The only option for collocation (the Berean Church) was found to be not feasible. The height of the church is not sufficient to provide adequate coverage in this area.

Scale of facility in relation to surrounding land uses.

6. Compatibility of scale is partially provided by the amount of separation between the proposed tower and surrounding uses. Additionally, the zoning and land use pattern supports uses that are generally compatible and of an intensity consistent with such a facility.

Impact on views/vistas and impact on landmark structures/districts, historically significant structures/districts, architecturally significant structures, landmark vistas or scenery and view corridors from visually obtrusive antennas and back-up equipment.

7. This site is within the Capitol View Corridor that extends southeast from the Capitol (see attached map). However, as noted previously staff's review of this application finds that there is no significant impact upon the corridor, and that review by the Capitol Environs Commission is not required.

The Comprehensive Plan designates open green space in the Highway 2 corridor adjacent to the commercial developments in this area. Willowbrook to the south was required to provide a 100' setback to buildings from the Highway 2 right-of-way to help provide for this open green space. The Home Depot building is actually setback approximately 150'. Consistent with the development on the south, this tower is setback in excess of 150' from the right-of-way line of Highway 2 to help preserve the corridor.

Color and finish.

8. The proposed tower will have a galvanized finish consistent with Section 27.68.110(c).

Ability to collocate.

9. This tower is designed to accommodate two additional carriers consistent with the Zoning Ordinance. However, the site plan must be revised to show two potential lease areas for the equipment shelters of the other carriers.

Screening potential of existing vegetation, structures and topographic features, and screening potential of proposed facilities, ground level equipment, buildings and tower base.

10. The landscape plan meets the requirements of the Design Standards, with the exception that a different species of tree is recommended due to disease susceptibility of the one shown. The tower is also sited to take advantage of the screening provided by existing trees on the site.

Evidence of good faith efforts, and demonstration that a preferred or limited preference site was not technically, legally, or economically feasible.

11. As noted previously, there are two preferred locations in the area, one being collocation on the Berean Church, and the other being locating in Willowbrook. However, the applicant provided evidence demonstrating that collocation was not feasible. Additionally, the applicant analyzed a tower sited in Willowbrook and found it would need to be approximately 200' in height to provide the same coverage as the proposed tower due to change in grade and terrain.

CONDITIONS:

Site Specific:

1. After the applicant completes the following instructions and submits the documents and plans to the Planning Department office and the plans are found to be acceptable, the application will be scheduled on the City Council's agenda:

- 1.1 Revise the site plan to show:

- 1.1.1 Scotch Pine substituted with Concolor Fir, Colorado Green Spruce, or Black Hills Spruce.

- 1.1.2 Potential locations for three antennas arrays on the tower, and potential lease areas for all three carrier's ground equipment.

- 1.1.3 A note that states that all antennas to be located on the tower are limited to the compact, flush-mounted type similar to those approved with this permit.

2. This approval permits a 105' broadcast tower capable of accommodating up to three wireless carriers with antennas limited to compact, flush arrays.

General:

3. Before receiving building permits:

- 3.1 The permittee shall have submitted a revised final plan including 5 copies and the plans are acceptable:

- 3.2 The construction plans shall comply with the approved plans.

- 3.3 The applicant shall submit a surety approved by the City Attorney in amount sufficient to guarantee removal of the facility.

Standard:

4. The following conditions are applicable to all requests:
 - 4.1 Before use of the facility all development and construction shall have been completed in compliance with the approved plans.
 - 4.2 All privately-owned improvements shall be permanently maintained by the owner.
 - 4.3 The site plan accompanying this permit shall be the basis for all interpretations of setbacks, yards, locations of buildings, location of parking and circulation elements, and similar matters.
 - 4.4 This resolution's terms, conditions, and requirements bind and obligate the permittee, its successors and assigns.
 - 4.5 The applicant shall sign and return the letter of acceptance to the City Clerk within 30 days following the approval of the special permit, provided, however, said 30-day period may be extended up to six months by administrative amendment. The clerk shall file a copy of the resolution approving the special permit and the letter of acceptance with the Register of Deeds, filling fees therefor to be paid in advance by the applicant.

Prepared by:

Brian Will
Planner
July 23, 2003

CONTACT: Mike Healey
The Everest Group
268 North 115th Street, Suite A
Omaha, NE 68154 (402) 578-3340

APPLICANT: Alltel Communciations, Inc.
1440 M Street
Lincoln, NE 68516 436-4278

SP#2012
South 77th Street and Highway 2

Page 8

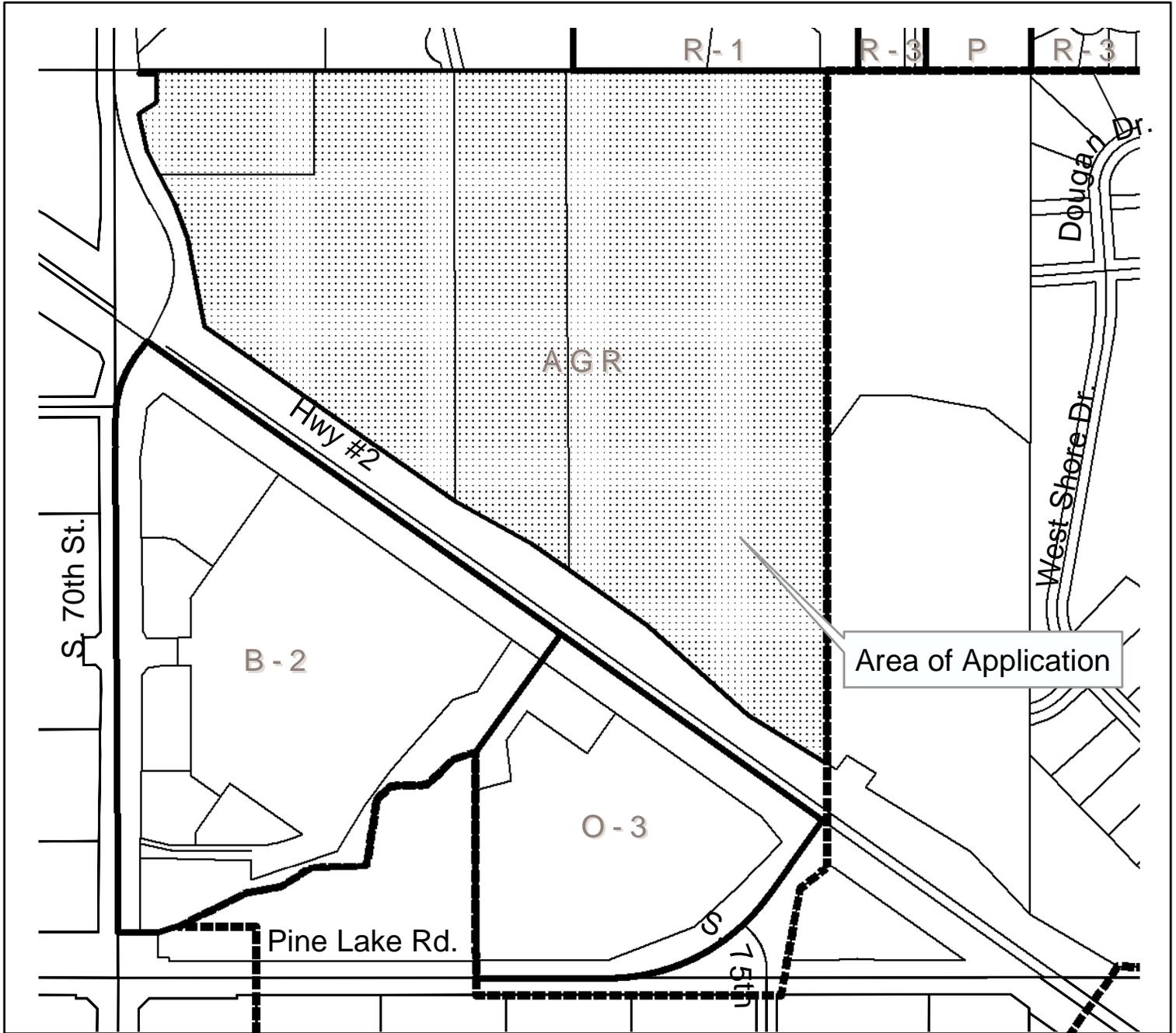
OWNER: Berean Fundamental Church
6400 South 70th Street
Lincoln, NE 68521 466-2307

I:\PC\PERMITS\SP\2000\SP2012 Alltel South 77th Street and Highway 2.bjw.wpd



**Special Permit #2012
S. 77th & Hwy #2**



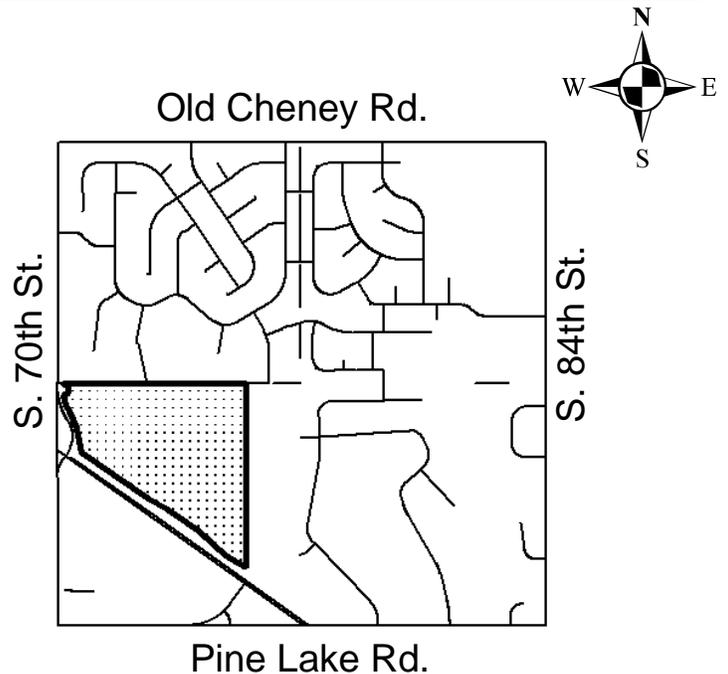
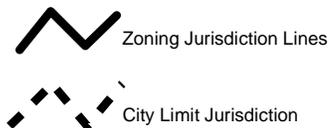


Special Permit #2012 S. 77th & Hwy #2

Zoning:

- R-1 to R-8 Residential District
- AG Agricultural District
- AGR Agricultural Residential District
- R-C Residential Converson District
- O-1 Office District
- O-2 Suburban Office District
- O-3 Office Park District
- R-T Residential Transition District
- B-1 Local Business District
- B-2 Planned Neighborhood Business District
- B-3 Commercial District
- B-4 Lincoln Center Business District
- B-5 Planned Regional Business District
- H-1 Interstate Commercial District
- H-2 Highway Business District
- H-3 Highway Commercial District
- H-4 General Commercial District
- I-1 Industrial District
- I-2 Industrial Park District
- I-3 Employment Center District
- P Public Use District

One Square Mile
Sec. 15 T9N R7E



Lincoln's Anticipated Year 2015
Service Limit

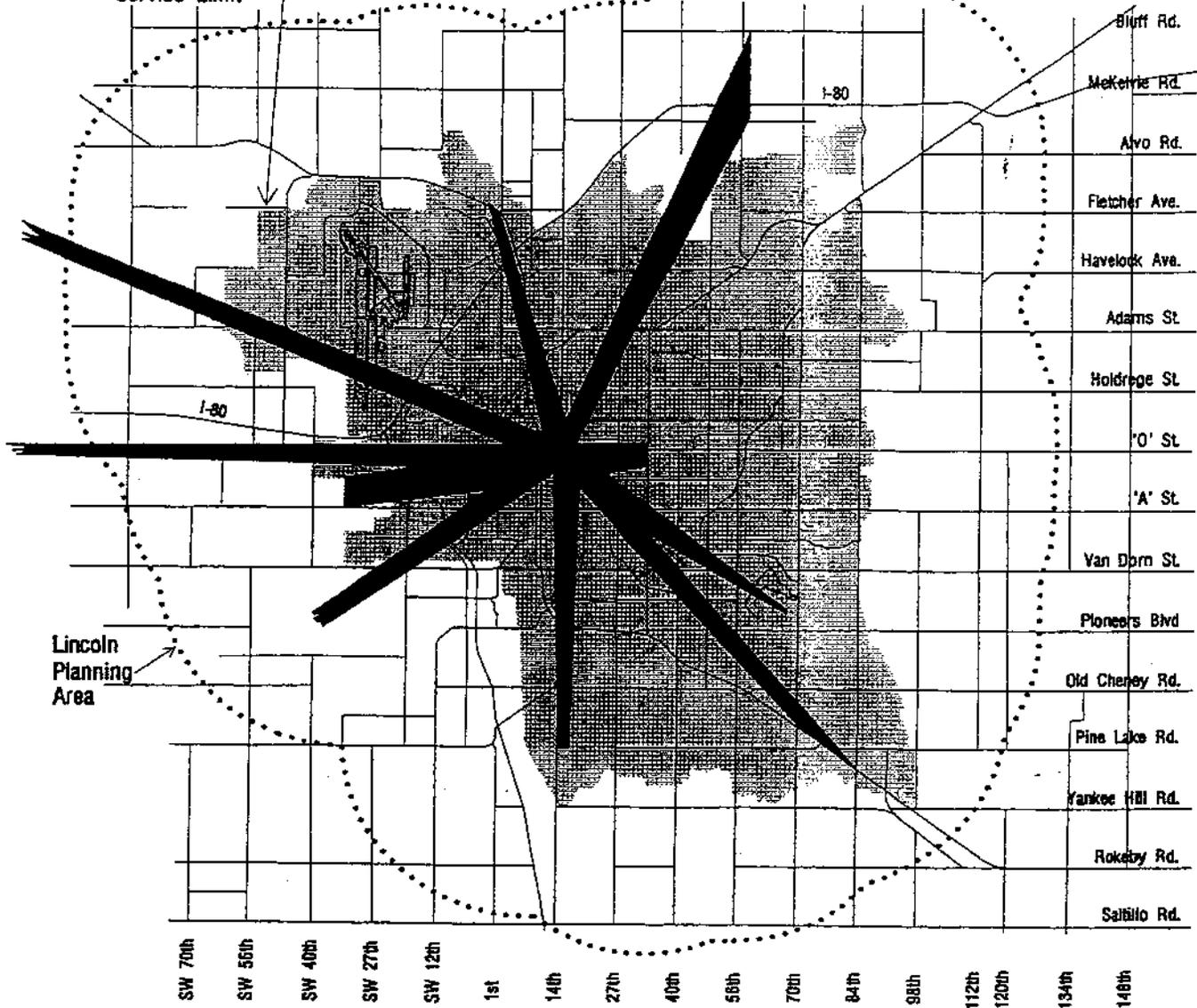


Figure 62

*Capitol View Corridors:
City Perspective*



 Capitol View Corridor

**Lincoln City/Lancaster County
Comprehensive Plan**

The Everest Group, LLC

268 North 115th Street, Suite 4
Omaha, Nebraska
Phone 402/933-4801
Fax 402/933-4803

July 2, 2003

Brian Will
Planner
City of Lincoln
555 South 10th Street
Lincoln, NE 68508

Re: Alltel Application for Special Permit #2012 (Berean Church)

Dear Brian:

As you know, Sean Keating had submitted a Special Permit Application to you for the above-referenced site back in April of this year. Pursuant to your recommendation, we have modified the site since that time. The site has been moved further north to ensure that the necessary setbacks from the Capitol View corridor are met. Also, the site has been redesigned to provide for less obtrusive, flush-mounted antennas without a platform.

Enclosed please find fifteen (15) sets of site plans reflecting the new site design. Please note that I met with Dennis Bartels from the City Engineer's Office to discuss the new site location and its proximity to the existing driveway and potential future dedicated city street. Mr. Bartels does not believe that our site will pose any problems in this regard.

Also enclosed, please find documentation that you had indicated was missing from the original application packet. Please note that there were a couple of errors in the narrative that Sean had included. The monopole itself is 100' tall with a 5' lightning rod for a total height of 105', rather than the 80' that Sean had indicated. Also, the tower is designed to accommodate at least 2 future carriers, rather than the 1 carrier that Sean had indicated.

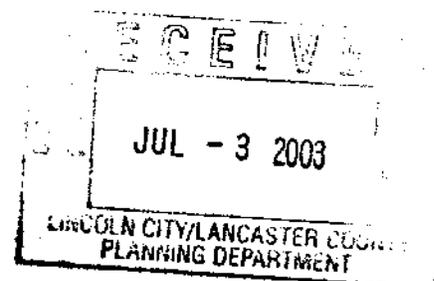
Please let me know if you have any comments or questions. I may be reached at 773-704-7065. Thank you for your attention to this matter.

Very Truly Yours,



Michael S. Healy

Encl.



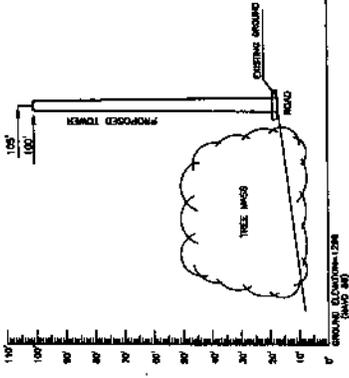
LAND SURVEYING
 1000 S. 10th Street, Lincoln, NE 68502
 (402) 441-1111
 WWW.LANDSURVEYING.COM

SW 1/4 SECTION 15, T.9N, R.7E, S.8, P.4
 LINCOLN COUNTY, NEBRASKA

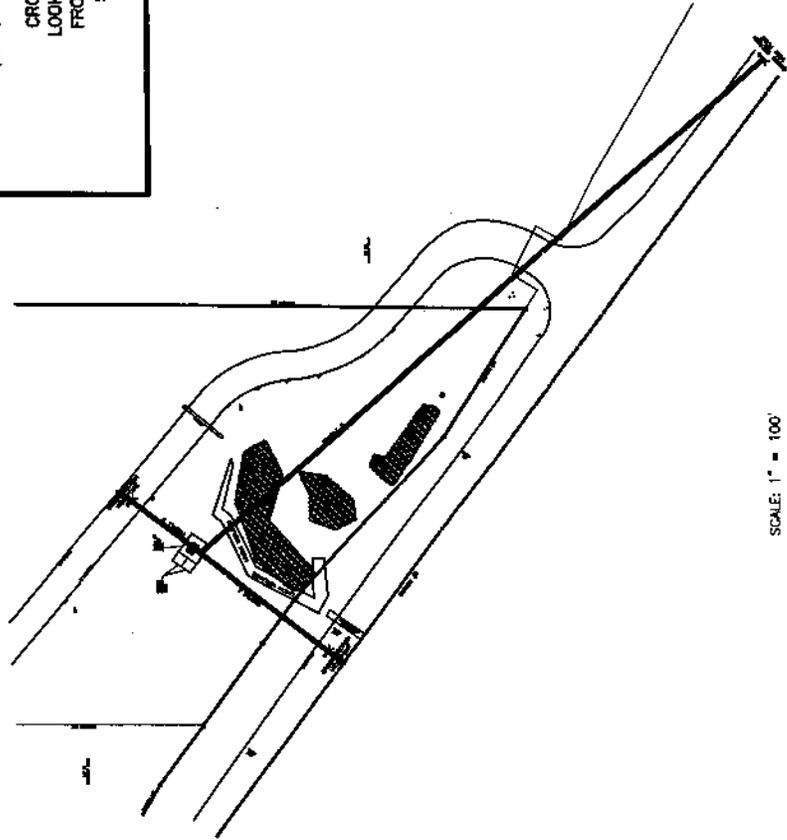
PROPOSED TOWER SURVEY FOR
 ALTEL
 PINE LAKE ROAD & HWY #2
 LINCOLN, NEBRASKA

MANAGER:
 Project No. 15-003
 Date: 07-17-03
 Drawn By: J. M. G.
 Checked By: J. M. G.
 FIELD DATA
 Book 694-2, Page 22
 DATE:
 Plot (15-17-03)
 Draw (15-18-03)
 Issue (15-18-03)
 SCALE: 1" = 200'
 PROJECT No.
 APPROVAL

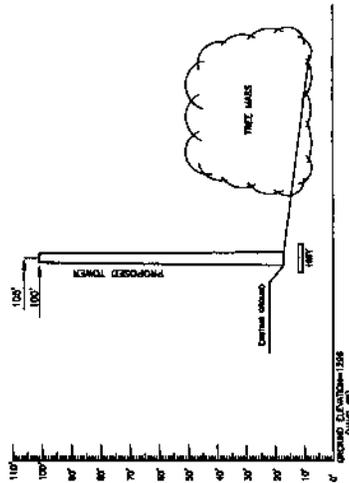
SHEET 5 OF 8



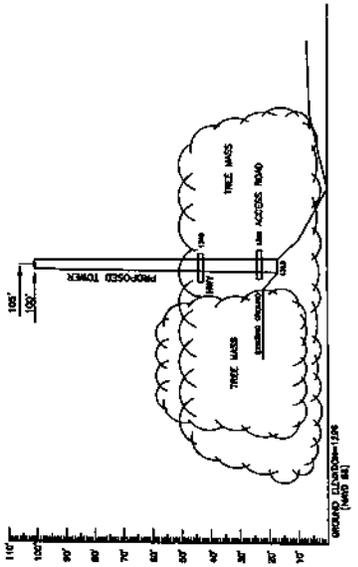
CROSS SECTION B
 LOOKING SOUTHWEST
 FROM PRIVATE ROAD
 SCALE: 1" = 30'



JUL - 3 2003
 STATE OF NEBRASKA
 SURVEYING DEPARTMENT



CROSS SECTION A
 FROM HWY. #2
 LOOKING NORTHEAST
 SCALE: 1" = 30'



CROSS SECTION C
 VIEW CORRIDOR
 LOOKING NORTHWEST FROM 1/4 MILE AWAY
 SCALE: 1" = 30'



1440 M STREET, 3RD FLOOR
LINCOLN, NEBRASKA 68508
(402) 438-4723



ALTEL SITE NO.: 736521015

ALTEL SITE NAME: 77TH & HIGHWAY 2

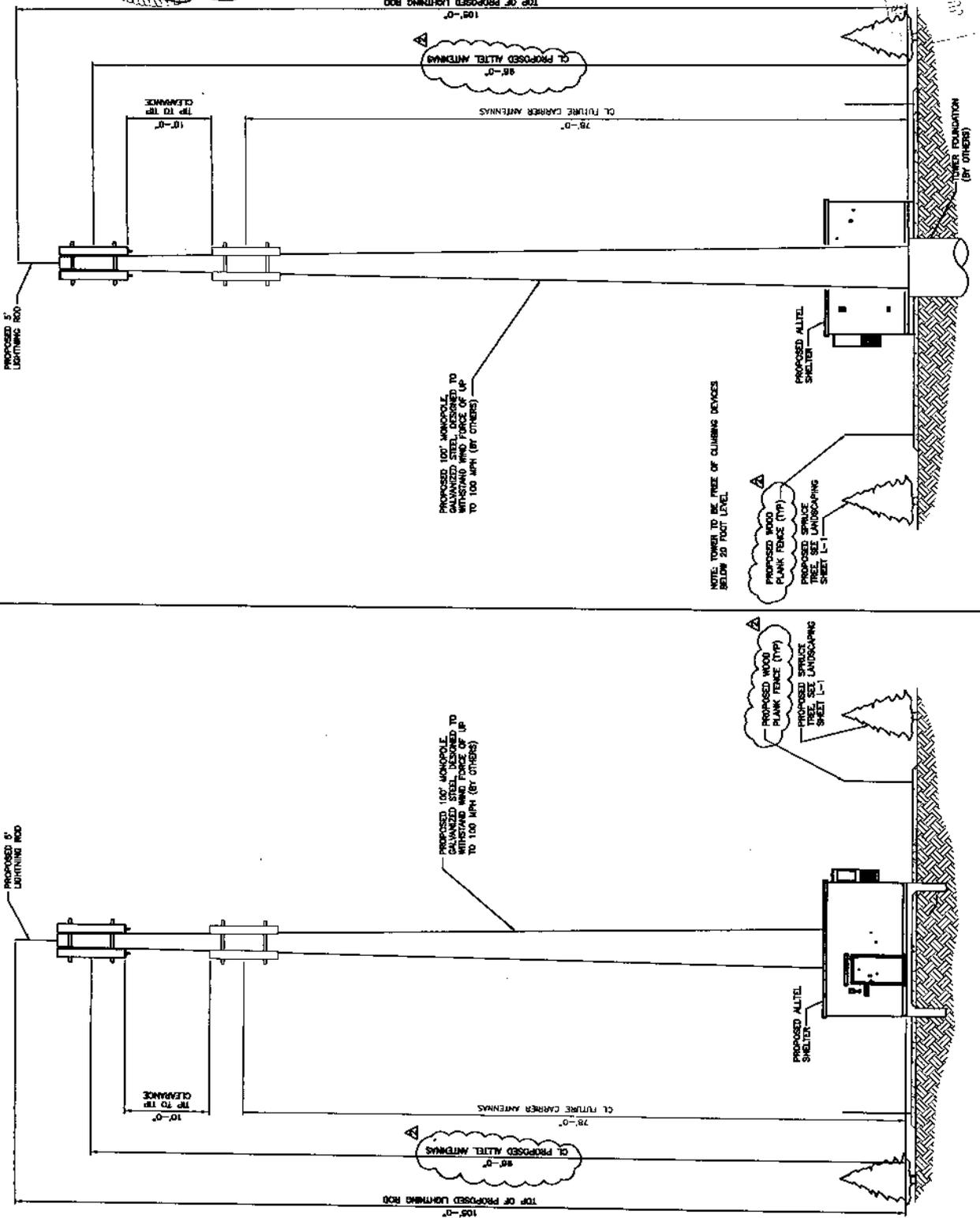
SITE ADDRESS: 8400 SOUTH 70th STREET
LINCOLN, NEBRASKA 68516

CHECKED BY: GVA
APPROVED BY: DMB/TMB

REVISIONS:

NO.	DATE	DESCRIPTION	BY:
1	04/16/02	ISSUED FOR ZONING	DMB
2	11/14/02	ISSUED FOR CONSTRUCTION	JAM
3	04/22/03	REVISED ANTENNA HEIGHTS	GVA
4	04/17/03	REVISED ANTENNA HEIGHT & FORCE	GVA

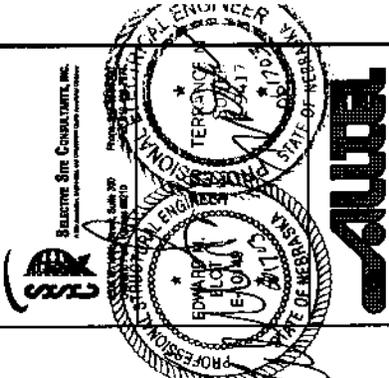
DRAWING TITLE: TOWER ELEVATIONS
DRAWING NO.: A-4



SOUTHWEST ELEVATION

NORTHEAST ELEVATION

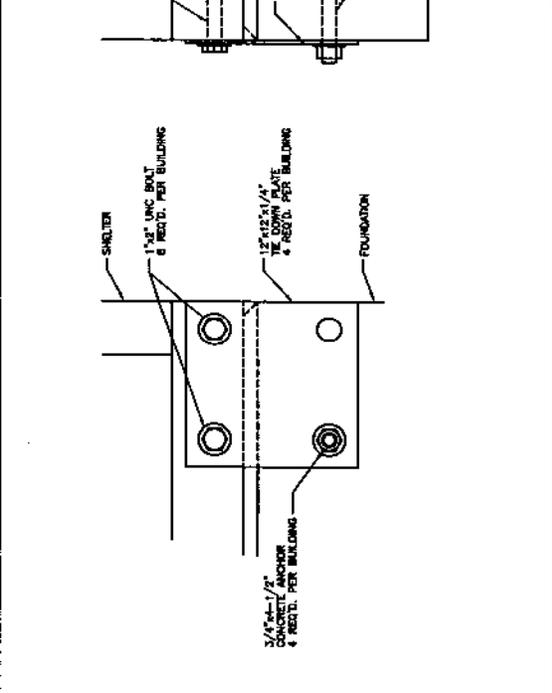
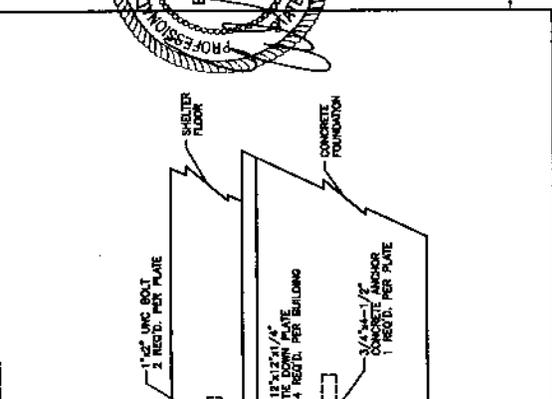
2



1440 "M" STREET, 3RD FLOOR
 LINCOLN, NEBRASKA 68508
 (402) 436-4723

ALTEL SITE NO.:	736521015	
ALTEL SITE NAME:	77TH & HIGHWAY 2	
SITE ADDRESS:	6400 SOUTH 70th STREET LINCOLN, NEBRASKA, 68516	
CHECKED BY:	DA	
APPROVED BY:	DATE/TIME	
REVISIONS:		
NO.	DATE	DESCRIPTION
1	11/18/02	ISSUED FOR BIDDING
2	11/18/02	ISSUED FOR CONSTRUCTION
3	06/17/03	REVISED PERCE DETAIL

DETAILS
 A-6



GENERAL NOTES

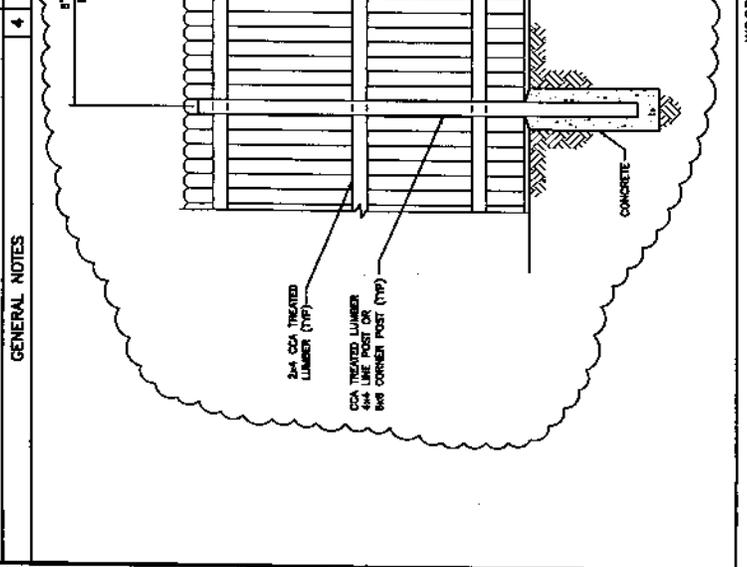
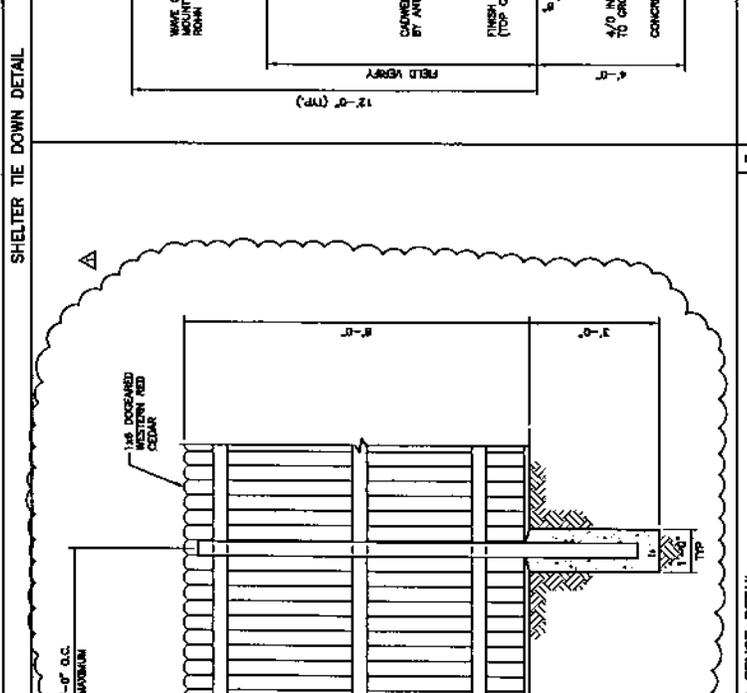
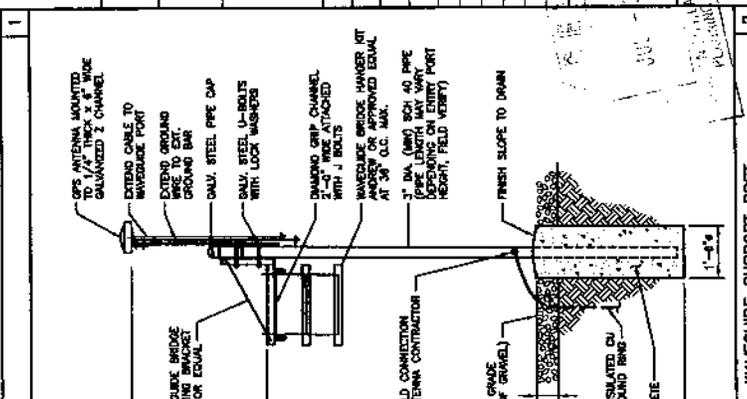
1. SHED FOUNDATION WHERE FOUNDATIONS WILL BE LOCATED AND LEVEL COMPOUND AREA IF NEEDED (ALL FILL IS TO BE COMPLETED).
2. INSTALL SHELTER FOUNDATION IN ACCORDANCE WITH ALTEL/CELLULAR SPECIFICATIONS.
3. POUR (1) 4"x4"x4" CONCRETE PAD FOR THE SHELTER STROP (IN PLACE IF POSSIBLE).
4. SUPPLY ALL CONCRETE, FORMS, AND REBAR PER ALTEL/MFR. SPECIFICATIONS FOR THE APPLICABLE FOUNDATIONS.
5. BACKFILL AND COMPACT ALL DITCHES.

TOWER WORK

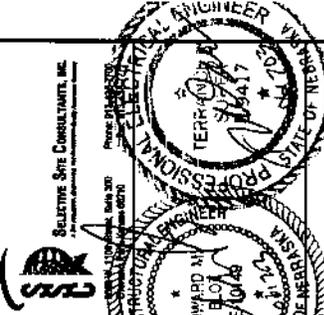
1. SUPPLY AND INSTALL ICE-SHROE AND TRAPZED HANGERS.
2. INSTALL ANTENNAS AND FEEDLINE ALONG WITH ALL APPROVED HANGERS AND HARDWARE CONNECTIONS. ALL HARDWARE SHALL BE SUPPLIED BY CONTRACTOR.
3. INSTALL GROUNDING RITS TOP AND BOTTOM, MAXIMUM 120" INTERVALS.
4. FEEDLINE TO BE TERMINATED AND CONCENTRATED 1" INSIDE THE ENTRY-PORT OF THE SHELTER.
5. GROUND FEEDLINE AT THE ENTRY PORT.

FOUNDATION

1. SHED FOUNDATION WHERE FOUNDATIONS WILL BE LOCATED AND LEVEL COMPOUND AREA IF NEEDED (ALL FILL IS TO BE COMPLETED).
2. INSTALL SHELTER FOUNDATION IN ACCORDANCE WITH ALTEL/CELLULAR SPECIFICATIONS.
3. POUR (1) 4"x4"x4" CONCRETE PAD FOR THE SHELTER STROP (IN PLACE IF POSSIBLE).
4. SUPPLY ALL CONCRETE, FORMS, AND REBAR PER ALTEL/MFR. SPECIFICATIONS FOR THE APPLICABLE FOUNDATIONS.
5. BACKFILL AND COMPACT ALL DITCHES.



WAVEGUIDE SUPPORT POST
 WOOD FENCE DETAIL



ALBA

1440 M STREET, 3RD FLOOR
 LINCOLN, NEBRASKA 68508
 (402) 438-4723

ALTEL SITE NO.:
736521015

ALTEL SITE NAME:
77TH & HIGHWAY 2

SITE ADDRESS:
 6400 SOUTH 70th STREET
 LINCOLN, NEBRASKA 68516

CHECKED BY: GAA

APPROVED BY: EMB/TMS

REVISIONS:

NO.	DATE	DESCRIPTION	BY:
0	04/24/20	ISSUED FOR CONSTRUCTION	GAA
1	06/17/20	ISSUED FOR CONSTRUCTION	GAA

DRAWING TITLE:

LANDSCAPING PLAN

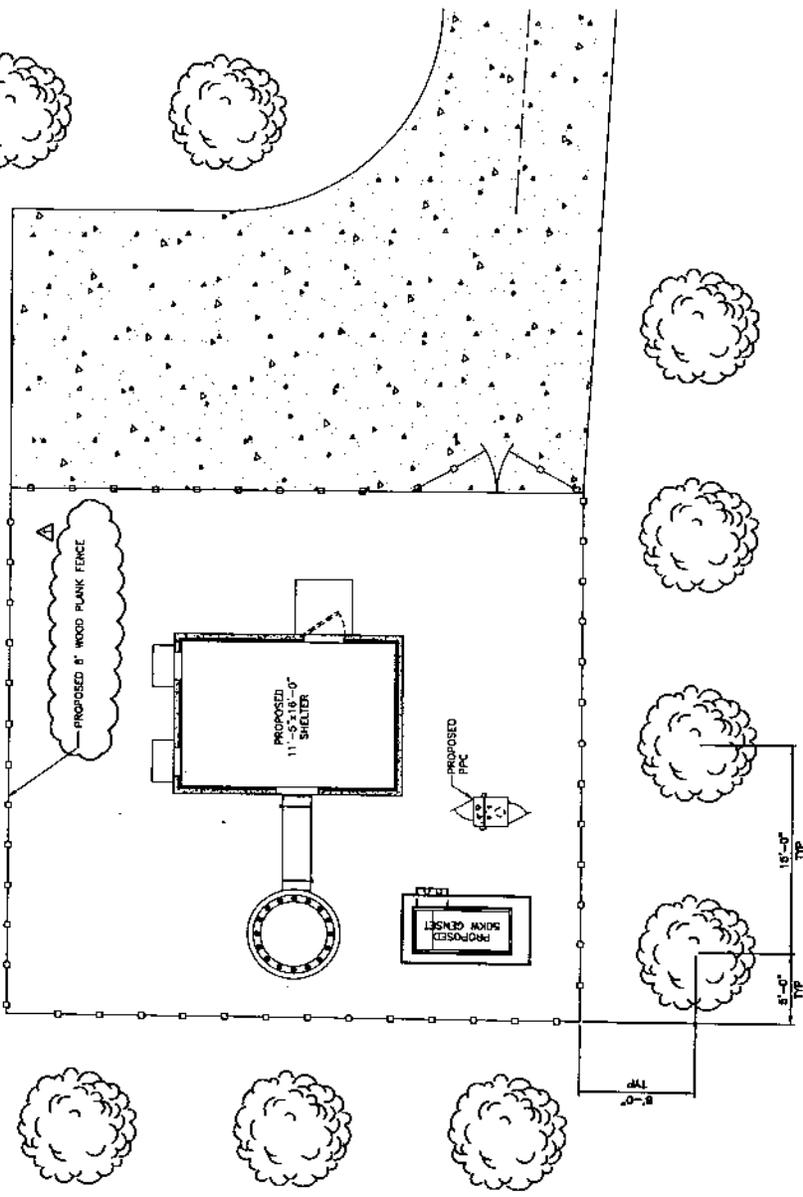
DRAWING NO.:

L-1

LANDSCAPE SCHEDULE

PLANT TYPE	PLANT SPECIES	PLANTING NAME	PLANTING HEIGHT	PLANTING METHOD	PLANTING TO CENTER	PLANTING SPACING
SPRUCE	COLORADO GREEN SPRUCE	PICEA PLANSKENSIS	8 FT	35 TO 40 FT	15'-0"	15'-0"

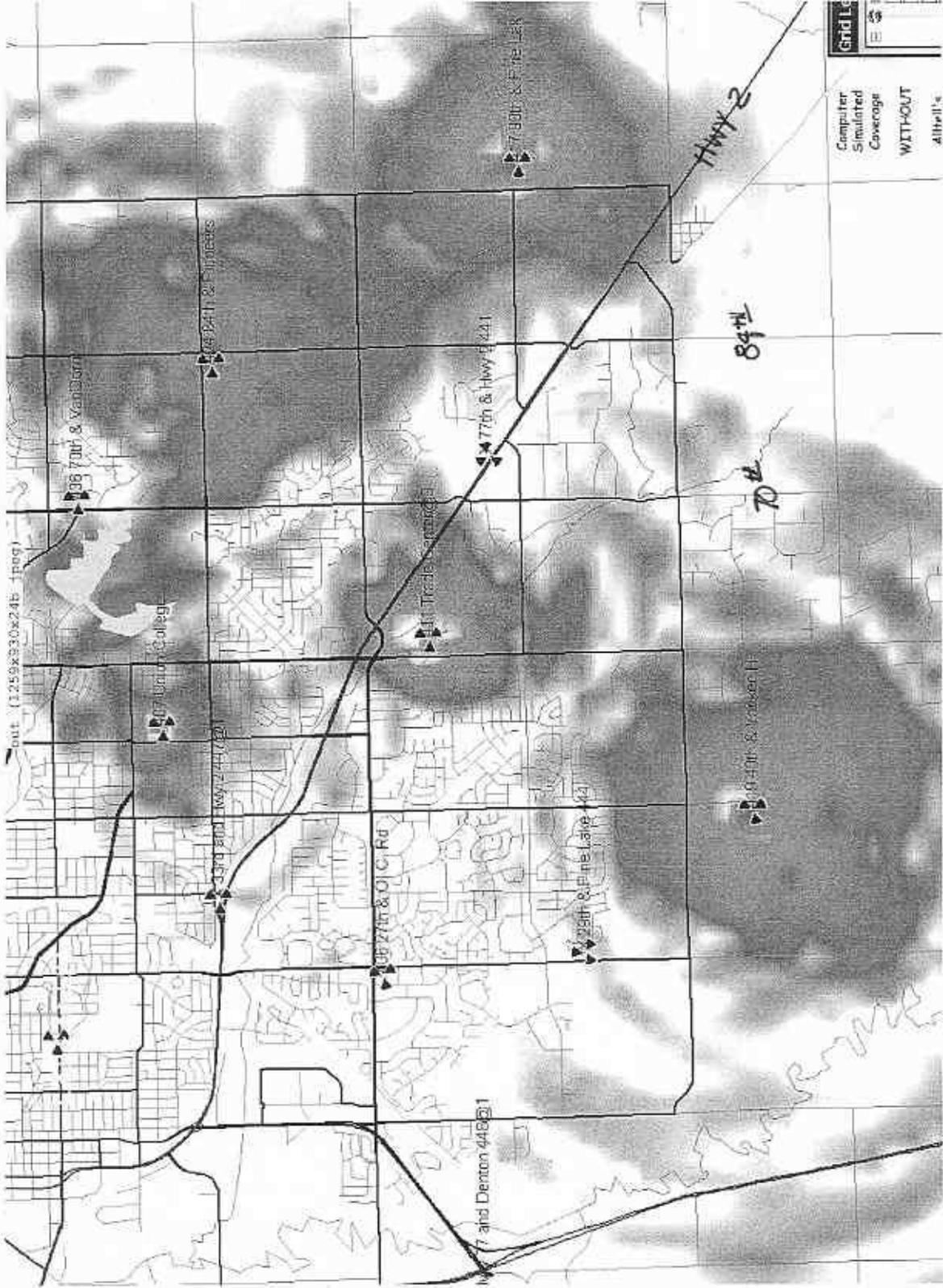
8'-0" HIGH COLORADO GREEN SPRUCE @ 15'-0" O.C. (13)



LANDSCAPING PLAN

1

COVERABLE W/OUT PROPOSED TOWER





ALLTEL COMMUNICATIONS Phoenix MTSO

2125 East Adams Street
Phoenix, AZ 85034

Date: Thursday, August 15th, 2002

To: Alltel's Lincoln Nebraska Zoning Department

From: Joseph Pietrzyk
RF Design Engineer
Phoenix, Arizona
Phone: 602 390-4694

RE: 77th & Highway 2 Cell Site Description

To Whom It May Concern:

My name is Joe Peterzak. I am employed by Alltel as a Radio Engineer. My work involves the design and placement of new cell sites in Lincoln Nebraska. I have designed a new cell site for Alltel's Lincoln Nebraska network called **77th & Highway 2**. This cell site is located just north of Highway 2 on Berean church land. In this letter, I am explaining in layman terms why this cell site is needed, what it will do, and how it will work.

Alltel's 77th & Highway 2 cell site was designed to serve our customers with a strong reliable signal within a mile of the site. In addition, this site will serve and provide service to the following areas...

1. Home Depot Shopping Plaza: located just southwest of the cell site. A strong signal is required in this area so that customers cell phones will operate *inside* the buildings of this complex.
2. New Mall: Construction of a major shopping Mall has started just southeast of this cell site. Alltel's objective is to provide service to our customers *inside* the mall.
3. Dominant Server Needed: Alltel has a problem with service in the area between Old Cheney Road and Pioneer Rd and between 56th and 77th. The 77th & Highway 2 cell site will fix the problem by providing a strong usable signal to this area. Currently, the signals in this area from other cell sites are too weak causing cell phone calls to drop and conversations to be chopped up, muffled, and hard to understand. 77th & Highway 2 will be the "dominant server" for this area correcting the unintelligent and dropped calls.

Antennas and Tower Description

Alltel's proposed 77th & Highway 2 cell site uses an antenna array that is designed to focus the radio signals into the three areas discussed above. The array consists of 12 high performance 8' panel antennas that are mounted on a steel pole at 100 feet above the ground. These panels will be arranged in three sectors with four panels in each sector.

Cell Site Location (s)

The new cell site location was selected to provide good line of sight and therefore good service to the areas described above. The Burean Church site was selected because it is located in the center of the three areas, and, because of the area's hills and terrain, will allow the use of the shortest tower.

A 60-foot hill exists between the Home Depot and the new Mall. In order to provide a suitable signal into the new Mall from the Home Depot location, a tower of at least 220' would be required. Because the towers height would exceed 200', the FAA may require a red light or white strobe light to be installed.

The Home Depot site with it's larger, possibly lighted tower would be more visually detractive from the existing landscape than the 100' unlit tower at the Burean Church's site. The Burean Church site provides better line of site and service to the areas listed above. Because of these reasons, I felt that the Burean Church is a better choice for the cell site location than the Home Depot.

I would like to assure everyone that Alltel's 77th & Highway 2 cell site was thoughtfully designed to have the least amount of visual impact on the surrounding area, and to meet the coverage objectives described above. In other words, I designed and selected the location of this site that would allow the use of the smallest antennas at the lowest height possible that will do the job.

Thank you,

Joseph Anthony Pietrzyk

Joe Peterzak

Radio Engineer

Alltel Southwest Design Group

Cell Phone: 602 390-4694

Alltel Communications

Highway 77-Highway 2

RF Coverage study

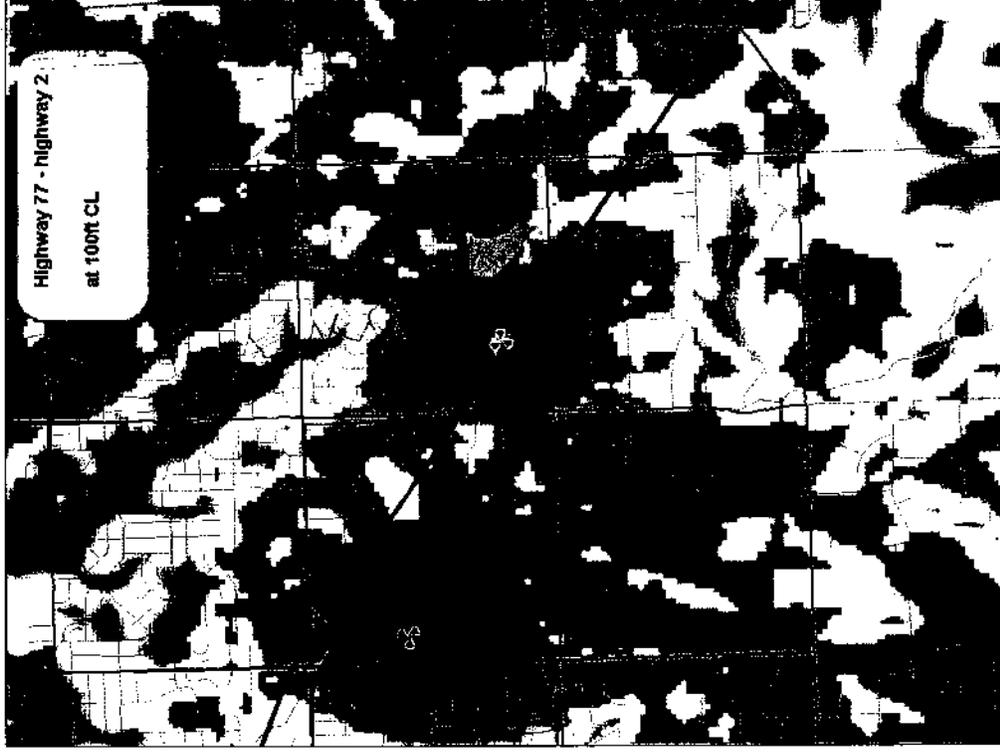
Scott Cashmore RF Engineer

RECEIVED

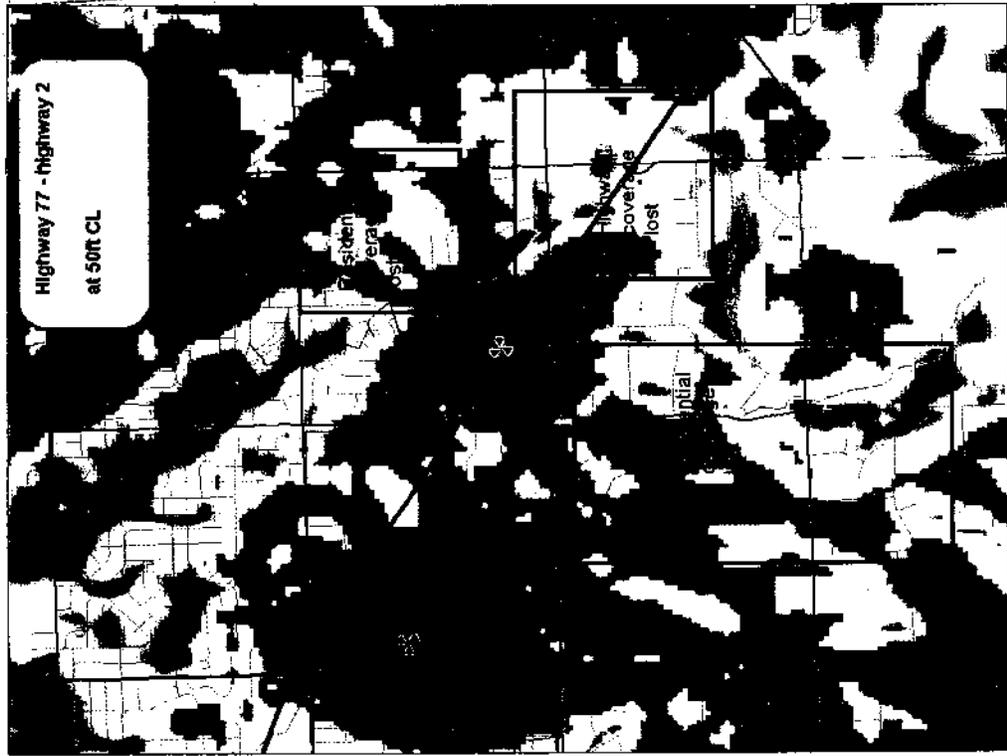
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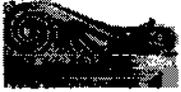
LANCASTER COUNTY PLANNING DEPARTMENT

- This is the site
CDMA pilot
channel propagation
at a 100 foot
centerline from
proposed monopole



- 50 foot height is what can be achieved from a rooftop application upon the church building.
- Note the lost coverage areas. This lost coverage severely compromises the objectives of this site.





Edward Zimmer

07/24/2003 02:49 PM

To: bwill@ci.lincoln.ne.us

cc:

Subject: Proposed Alltel tower at Highway 2 near 77th Street

Brian,

I've done a site visit of the proposed location of an Alltel wireless communication tower near Highway 2 at S. 77th Street. Your caution with this site is well placed as it is in or very close to the "country" view corridor of Highway 2 and 84th Street identified on p. 52 of the 1976 "Urban Design Plan for the Nebraska Capitol Environs" which we use as one key basis for evaluating impact of projects on significant vistas.

A westbound traveler on Highway 2 begins to see the Capitol Tower along the "plateau" around 91st Street occupied by Walmart and Menards, but the view is across their parking lot and is not a prominent one. Immediately west of 87th Street a clear horizon line of the city appears and the Capitol is well-silhouetted. At that location the proposed new tower would be visible, but at a distance of approximately a mile, and would be substantially south (left) of the Capitol tower location.

Proceeding west from 87th, the highway descends steadily into Lincoln and distant horizon and the Capitol are not visible, so the tower will not viewed in a nearer foreground, more closely aligned with the tower's position.

On the basis of this site visit it is my opinion that the proposed 100 foot Alltel tower (with 5' lightning rod) will not adversely impact any significant public vista of the Capitol tower.

This tower will be quite prominent within the Highway 2 approach to Lincoln and therefore the care shown in its placement and design, including the setback from Highway 2, use of the tidier, tight antenna array, and screening behind existing tree masses and planting of new trees, all seem merited.

Thank you for requesting this review.

Ed Zimmer
Historic Preservation Planner
Lincoln Planning Dept.
(402)441-6360
ezimmer@ci.lincoln.ne.us



Memo

To: Brian Will, Planning Department
From: Mark Canney, Parks & Recreation
Date: April 22, 2003
Re: Alltel Wireless 6400 S. 70th Street SP 2012

Staff members of the Lincoln Parks and Recreation Department have conducted a plan review of the above-referenced application/proposal and have the following comments:

1. Scotch Pine is not an acceptable species of evergreen due to susceptibility to diplodia. Use Concolor Fir, Colorado Green Spruce, or Black Hills Spruce as a substitute.

If you have any additional questions, comments or concerns, please feel free to contact me at 441-8248. Thank you.